

Mastic Asphalt/Hot Melt Award Winner Fitzroy Place

This large prestigious development in the heart of London was logistically challenging, yet Prater maintained quality workmanship throughout the project.

At a glance

Client: Exemplar

Architects: Sheppard Robson and Lifschutz Davidson Sandilands

Main Contractor: Sir Robert McAlpine

Roofing Contractor: Prater Limited

Building Type: Mixed-use

Location: Central London

Completion: 2016

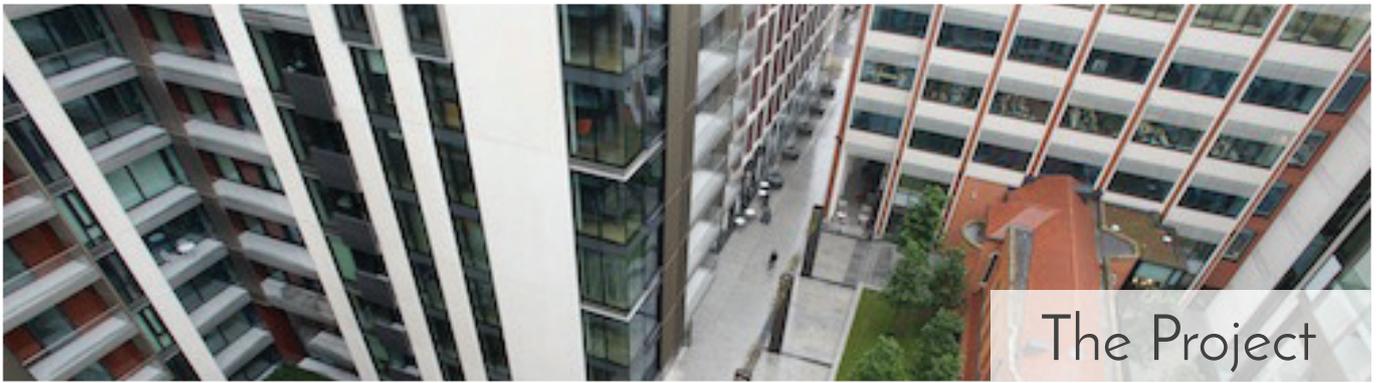
Roof Type: Mastic Asphalt/Hot Melt

Finish: Radmat PermaQuik PQ6100 hot melt

Insulation: Radmat ProTherm

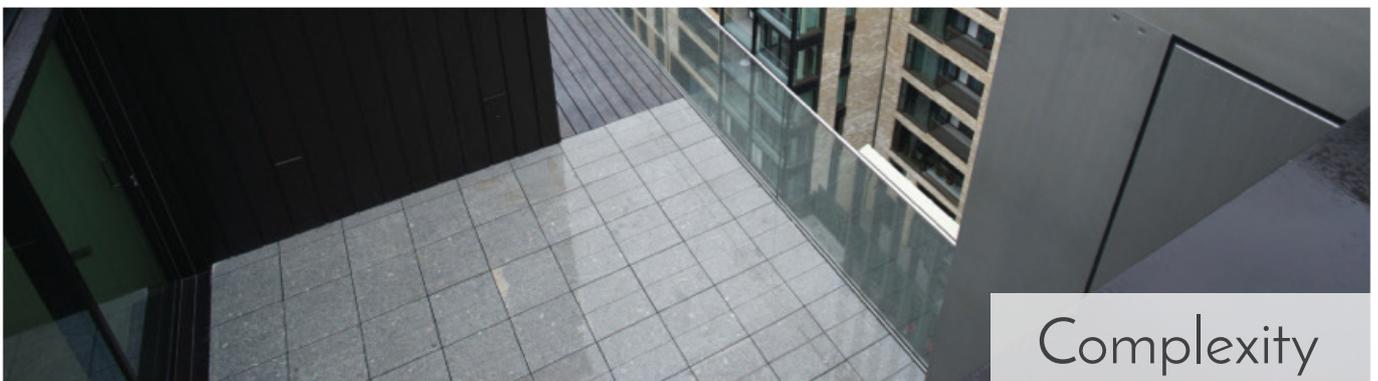
Underlay: ProTherm XENERGY MinK

Battens: Blumson Yellow Balau timber decking



The Project

Located in central London's East Marylebone Conservation Area, Fitzroy Place is a 1.3 hectare, mixed-use scheme developed by Exemplar on the site of the Edwardian Middlesex Hospital. The façade has been retained on one side of the development, with the hospital's Grade II listed chapel located in its centre. The scheme comprises office space, apartments, shops and restaurants all built around a landscaped square. 1 Fitzroy Place includes 235 private apartments, 1,858 m² of retail space, and 20,438 m² of office space. 2 Fitzroy Place is the UK and Ireland Headquarters for Estée Lauder. The development also has three residential blocks.



Complexity

Prater was appointed on a design and build (D&B) basis by main contractor Sir Robert McAlpine to undertake the inverted hot melt roofing elements. To ensure good weather tightness and the integrity of the building, the design details had to be developed in close collaboration with the architects and Radmat, the supplier of the roofing products.



Challenges

The buildings were developed concurrently, which made the project logistically challenging, particularly in terms of the distribution of materials on site, to areas such as the balconies on the residential buildings. This, for example, involved the use of hoists through floors where internal finishes were being installed. Also, the speed of the build meant that design details had to be developed to accommodate a changing and fluid programme, while complex sequencing and co-ordination with other contractors was required throughout the project.



Workmanship

Radmat's PermaQuik PQ6100 Hot Melt system was applied to a concrete deck, together with the associated green roofing and paving finishes. The system is BBA Certified to last the life of the building and high specification finish reflected the standards required for each stage of the build, including the roofing works.

To ensure that the most appropriate and efficient design solution was developed, Prater undertook all design detailing, which were verified by Radmat. Highly trained Prater operatives completed the works to the exacting standards of Radmat, with a strict Inspection and Test Plan in place throughout the build. This involved rigorous snagging and checking for quality. Working closely with Prater, Radmat visited the site at regular intervals to confirm quality so that technical sign off could be achieved for warranty purposes.

PermaQuik hot melt was used as the waterproofing protection beneath the green roof finish on the residential blocks' main roof areas. The team worked closely with trained horticulturists to achieve the correct green roof finish. PermaQuik hot melt waterproofing was also applied to the balcony areas, with the ProTherm insulation installed directly over it and finished off with a high-quality granite slab.



Project Management

Senior management and a dedicated project manager oversaw all aspects of the project, including the ongoing planning of works, attending coordination meetings, making weekly safety walks, as well as progress meetings with the client and main contractor. Internal team meetings, involving commercial, design and build managers, were held both on and off site, with individual departmental meetings taking place with the client and main contractor as requested or when required.



Safety

Prater views safety as a core value of its business, from the board level down, meaning that health and safety overrides everything else and is delivered in line with current regulations. Good site safety was therefore maintained throughout the project, with regular health and safety visits carried out onsite and to the Prater work areas. The project manager was responsible for site safety, including the writing and monitoring of the method statements, as well as completing the required documentation throughout the project. Careful logistics management and coordination ensured that work areas were kept safe and in a good condition, with the working methodology carried out to mitigate any potential risks. Five-point PPE is compulsory as part of Prater policy and task specific PPE was provided to meet the requirements of individual tasks.



Prater Limited says

Fitzroy Place is a unique collection of prestigious new homes, enticing stores, restaurants and high-quality office space, which were constructed at the same time, making it a logistically challenging project. Nevertheless, Prater maintained neat and accurate workmanship throughout, which has been acknowledged by the main contractor, Sir Robert McAlpine.



About Prater Limited

Prater is a leading specialist building envelope contractor, a single source supplier capable of providing complete solutions from design and planning to manufacture and installation. It specialises in flat roof systems for residential and non-residential buildings, including single ply, green roofs and structural waterproofing.



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